

Newington Residential Part

Contents

1.0	Introduction	2
2.0	General controls	3
3.0	Single lot housing	7
4.0	Residential flat buildings	21

I.0 Introduction

I.1 Development to which this Part applies

This Part applies to the Newington residential precinct as shown in Figure I, specifically to land zoned R3 Medium Density Residential and R4 High Density Residential under *Auburn LEP 2010*.



Figure I- Newington residential precinct.

I.2 Purpose of this Part

The purpose of this Part is to ensure that the Newington residential precinct:

- is pleasurable to live in and creates enjoyable urban places;

- maintains a high level of amenity;
- contributes to the overall street locality and streetscape;
- minimises the impact on the environment;
- optimises use of the land; and
- responds appropriately to allotment size, location, opportunities and constraints.

1.3 Structure of this Part

The Part is structured as follows:

- Section 2.0 contains general controls for single lot housing and residential flat buildings;
- Section 3.0 contains controls for single lot housing;
- Section 4.0 contains controls for residential flat buildings; and
- Section 5.0 contains a list of relevant plant species to be used in the private domain.

2.0 General controls

This section applies to single lot housing types such as detached, semi-detached (town house), attached (terrace house), courtyard dwellings and residential flat buildings.

Objectives

- a. To ensure that development provides a degree of consistency to establish the neighbourhood character of the precinct.
- b. To ensure that the appearance of the development is of high visual quality and enhances and addresses the street.
- c. To ensure that the form, scale and height of proposed development protects the amenity of adjoining properties and the locality.
- d. To ensure that the form, scale and height of the proposed development responds appropriately to site characteristics.
- e. To ensure that the development is designed, detailed and finished to provide an appropriate scale to the street.
- f. To ensure that new development relates well to surrounding development.
- g. To ensure that when 'built out' the precinct provides a high quality sustainable environment.

2.1 Development controls

The following general development controls apply:

- D1** All buildings shall address the street.
- D2** Where a building has two street frontages, it shall address the primary (major) street.
- D3** Stepped building arrangements may be encouraged where narrow lot types reinforce the street.

- D4** Entrances to residential flat buildings shall be clear and legible from the street.
- D5** The storey height shall be controlled in residential areas to avoid overshadowing of neighbouring private open spaces.
- D6** Car court arrangements shall ensure that a minimum of 60% of dwellings have garages at rear.
- D7** Where private open space is located on the street frontage, 2m walls shall be permitted for a maximum of 60% of frontage.
- D8** Driveways and high fences shall be paired where possible.

D9 Stormwater drainage

Applicants shall consult the Stormwater Drainage Part of this DCP for Stormwater Drainage.

D10 Waste

Applicants shall consult the Waste Part of this DCP for waste requirements.

D11 Landscaping

Table I below lists the plant species to be used in the private domain for single lot housing and residential flat buildings.

Table I – Plant species to be used in the private domain

		Indigenous	Invasive	Allergenic	Bird attracting
Trees					
Acacia elata	Cedar Wattle	x		x	x
Acacia glaucesens	Coast Myall	x		x	
Acmena smithii	Lilly Pilly	x			x
Allocasuarina glauca	Swamp Oak	x		x	
Angophora floribunda	Rough Barked Apple	x			x
Banksia serrata	Old Man Banksia	x			x
Callicoma serratifolia	Black Wattle	x			
Ceratopetalum apetalum	Coachwood	x			
Eleocharis reticulatus	Blueberry Ash	x			x
Eucalyptus citriodora	Lemon Scented Gum	x			
Eucalyptus maculata	Spotted Gum	x			x
Eucalyptus scoparia	Tallangatta White Gum	x			
Eucalyptus sideroxylon	Mugga Ironbank	x			x
Livistona australis	Cabbage Tree Palm	x			x
Melia azedarach	White Cedar	x		x	
Pittosporum revolutum	Yellow Pittosporum	x			x
Pittosporum	Sweet Pittosporum	x			x

		Indigenous	Invasive	Allergenic	Bird attracting
undualtum					
Syncarpia glomulifera	Turpentine	x			
Tall shrubs					
Backhousia myrtifolia	Lemon Ironwood	x			x
Banksia ericifolia	Heath Banksia	x			x
Banksia integrifolia	Coast Banksia	x			x
Baurea rubioides	Dog Rose	x			
Ceratopetalum gummife	NSW Christmas Bush	x			x
Grevillea banksii	Banks Grevillea	x			x
Grevillea hookeriana	Toothbrush Grevillea	x			x
Hakea salicifolia	Willow Leaved Hakea	x			x
Leptospermum laevigatu	Coast Tea Tree	x			
Melaleuca armillaris	Bracelet Honey Myrtle	x			x
Melaleuca nesophila	Honey Myrtle	x			x
Shrubs					
Boronia serrulata	Native rose	x			x
Correa reflexa	Native Fuschia	x			
Epacris pulchella	Coral Heath	x			
Erisotemon australasius	Waxflower	x			x
Grevillea 'Robyn Gordon'	Grevillea	x		x	x
Grevillea sericea	Pink Spider Flower	x		x	x
Westringia fruticosa	Coast Rosemary	x			
Ground covers					
Acacia suaveolens	Sweet Scented Wattle	x			x
Cissus antartica	Grape Ivy	x			
Hardenbergia violacea	Native Sarspirella	x	x		
Hibbertia scandens	Gold Guinea Flower	x			
Kennedia rubicunda	Dusky Coral Pea	x	x		
Kenzea Carpet'	Badja Carpet	x			x
Muehlenbeckia axillaris	Wire Plant	x	x		
Myoporum parvifolium	Creeping Boobiialla	x			
Viola hederacaea	Native Violet	x			
Grasses					
Cyperus gracilis	Dwarf Umbrella Grass	x			
Dianella revoluta	Flax Lily	x			x
Ferns					
Adantum aethipoicum	Maidenhair Fern	x			

		Indigenous	Invasive	Allergenic	Bird attracting
Asplenium australasicum	Birds Nest Fern	x			
Blechnum nudum	Hard Tree Fern	x			
Culcita dubia	False Bracken	x			
Cyathea cooperi	Coopers Tree Fern	x			
Doodia aspera	Rasp Fern	x			
Pteris spp	Jungle Brake	x			
Todea barbera	King Fern	x			

Private

Accent plants for dramatic foliage effect		Innovative use of materials in softscape			
Anigosanthos flavidus	Kangaroo Paw				
Apinia caerulea	Native Ginger		x		
Araucaria cunninghamii	Norfolk Island Pine				
Cordyline stricta	Erect Palm Lily		x		
Crinum pedunculatum	River Lily		x		
Curculigo capitulata	Weevil Lily		x		
Dendrobium speciosum	Native Orchid		x		
Dicksonia antarctica	Soft Tree Fern		x		
Doryanthes excelsa	Gynea Lily		x		
Gahnia sieberiana	Slender Saw Sedge				
Heimholtzia glaberrima	Stream Lily		x		
Livistona chinensis	Cabbage Tree Palm		x		
Lomandra longifolia	Mat Rush				
Macrozamia communis	Burrawang		x		
Vitex trifolia 'Purpurea'					
Xanthorrhoea australis	Grass Tree				

Private

Australian native plants for special effect		Unique showcase of native Australian plants			
Acmena smithii	Blue Lilly Pilly		x		
Aiphitonia excelsa	Red Ash		x		
Amaianthus populifolius	Bleeding Heart		x		
Archontophoenix alexan	Alexander Palm		x		
Archontophoenix cunnin	Bangalow Palm		x		

		Private
Backhousia citriadora	Lemon Scented Myrtle	x

D12 Car parking

Applicants shall refer to the relevant provision within the Parking and Loading Part of this DCP.

D13 Public domain

Applicants shall consult the Newington Public Domain Plan for all public domain requirements.

D14 Access and mobility

Applicants shall consult the relevant provisions within the Access and Mobility Part of this DCP.

D15 Adaptable housing

Applicants shall consult the relevant provisions of the Multi Dwelling or the Residential Flat Building Parts of this DCP.

3.0 Single lot housing

This section provides detailed and specific controls for single lot housing which comprises of detached, semi-detached and attached housing types.

3.1 Detailed controls**3.1.1 Private open space****Development controls**

D1 A minimum area of 25m² of continuous open space relating to living areas shall be provided on each site.

D2 Major open space shall be screened if located at the front of the building.

3.1.2 Privacy**Development controls**

D1 Visual privacy shall be required and may be achieved by:

- separation of functions by lot layout;
- placement of buildings between adjoining private open spaces;
- window placement that avoids overlooking from living area to living area; and
- use of screening where the above strategies cannot be achieved.

D2 For acoustic privacy, buildings shall:

- separate active recreation areas from bedroom areas;
- locate noise sensitive rooms and private open space away from the noise source or use of solid barriers where dwellings are close to high noise sources;
- minimise transmission of sound through the building structure, and in particular, protect sleeping areas from noise intrusion; and
- include shared floors and walls between dwellings to be constructed in accordance with noise transmission and insulation requirements of the Building Code of Australia (BCA).

3.1.3 Solar amenity

Development controls

- D1** Single lot dwelling living spaces shall be orientated within 20 degrees west of North and 30 degrees east of North and open directly onto north facing private open space where possible.
- D2** North facing external walls to living areas of dwellings shall achieve 2 hours of solar access in mid winter.
- D3** Single lot dwellings shall be designed to ensure minimum of 2 hours of solar access to a minimum of 50% of the required provision of adjacent private outdoor living space between 9:00am and 3:00pm midwinter.
- D4** North facing windows shall be maximised and have horizontal protection to ensure shading of glazing occurs when the midday sun angle is 65 degrees or more. Shading devices to north facing windows shall provide sun penetration when the midday sun angle is 34 degrees or less.
- D5** Window sizes shall be minimized when facing south, west and east or shall be installed with vertical screens or solar film to west and east facing windows.
- D6** High mass materials shall be used where possible.

3.1.4 Building height

Development controls

- D1** Building heights shall reinforce the scale and quality of the streetscape within Newington's residential precinct and surroundings. To allow flexibility, sloping sites shall have a maximum building height of two storeys plus attic.

3.1.5 Front fences

Development controls

- D1** Front fencing shall be 50% transparent. The minimum requirement for front fencing shall be 900mm. The maximum front fencing height requirement shall be 1.2m.
- D2** Dividing fences shall be a maximum of 1.8m in height and, where required, shall allow for surveillance of street.
- D3** Privacy shall be provided to private open space where it abuts the street. Surveillance via the entry and living/kitchen room windows shall be maintained.

- D4** Design of wall/fence shall be integrated with the design of the building and shall allow for penetration of breezes.
- D5** Where surveillance of the street or open space is required, fences shall be permeable. Refer to Table 2 for building materials, colours and finishes.

3.1.6 Garden walls

Development controls

- D1** Garden walls (semi transparent) shall be a minimum height of 1.5m and a maximum height of 2m.
- D2** Garden walls shall be permitted to the street only when enclosing north facing private residential open space with a maximum width of 60% of street frontage and a maximum unarticulated length of 12m wide residential areas.
- D3** Garden walls shall not obscure the view of the front door from the street. Refer to Table 2 for garden wall materials, colours and finishes of this Part.

3.1.7 Carports and garages

Development controls

- D1** Garages and carports shall read as secondary to building forms and compatible with the architectural character. Refer to Table 2 for materials, colours and finishes for carports and garages.

3.1.8 Pergolas

Development controls

- D1** Dimensions of pergolas as shown below shall be appropriate to the function and design of pergolas shall be integral with architectural design of the building. Refer to Table 2 for building materials, colours and finishes.

Height	Maximum 3m
Depth	Minimum 1m and 3m maximum
Width	2m over outdoor living areas

- D2** Pergolas shall provide shade when sun is above 65 degrees or more (summer) and when the sun angle is 34 degrees or less (winter).

3.1.9 Decks, porches, terraces, verandahs

Development controls

- D1** Refer Table 2 for development controls and finishes relating to decks, porches, terraces and verandahs.

3.1.10 Materials

Development controls

- D1** Refer to Table 2 for materials, sizes and finishes for various building elements associated with the development.

Table 2 - Architectural materials, sizes and finishes

Building elements	Material	Shape and size	Colour and other requirements
Carports and garages	Walls to be timber or rendered or bagged and paint finish masonry.	Refer detail building controls.	Masonry to be off white to earth tones. Timber can have colour accents.
Front door	Timber and glass (max 50%)		Weather strips required. Any colour allowed. Shall be visible from the street.
Plumbing	No exposed sanitary plumbing.		Vent pipes and other roof protrusions. See roof additions.
Hot water/ Photovoltaic cells		Solar panels mounted flush onto roofing or incorporated into built form.	Storage tank to be remotely located at ground level.
External paving	Permeable materials preferred.	Position to minimise site coverage	
Roof	Terracotta or pre-finished concrete tile or metal	North facing pitch to be sufficient in area for solar collectors.	Highly reflective surfaces not allowed. Colour range generally light colours including greys, terracotta, light earth tones. Overhang to shade windows midday midsummer and allow maximum penetration to windows of midday midwinter sun.
Roof additions (i.e., satellite dish, TV aerial)		Refer <i>State Environmental Planning Policy (Exempt and Complying Development Codes) 2008</i> .	Not to be visible from the street.
Skylight			Shaded to exclude 100% midday midsummer sun and allow maximum penetration of midwinter sun.
Wall	Ground Level: rendered or bagged and paint finish masonry. Upper Level: As for ground or mixture of rendered or bagged and paint finish masonry and light weight cladding including FC sheet/shingles/timber boarding.	Front wall parallel to front property boundary except for articulation elements and lots less than 10m in width.	Wall colour to range from off-white to earth tones. 20% of light weight upper level walls can be an accent colour.
Window and glass door	Timber and metal framing and shading. No reflective or tinted glass.	No maximum limit for appropriately shaded glazing.	All rooms including bathrooms and kitchens shall have minimum window opening area to meet BCA for natural ventilation and natural light. Weather strips to all windows. All windows shall have external shading to exclude 100% midday midsummer sun and allow maximum penetration of midday midwinter sun. Colour of frames shall be accent colour.
Balcony	Floor: timber, pavers (pre-cast, brick or unit) or tiles. Balustrade: mild steel, timber or masonry.	Refer detail building controls in section 4.1.3	Shall be screened to prevent overlooking. To be timber trellises, lattices, shutters, fabric screens.
Deck	Floor: As for balcony. Balustrade: mild steel, timber or clay brick.	Min 1.2m max 3m deep. Min 2.5m wide.	Do not shade minimum required windows midday midwinter. Screened to prevent overlooking. Screen materials as per balcony.
Garden wall	Clay brick, earthen construction or timber.	Refer section 3.1.6 of this Part.	Refer section 3.1.6 of this Part.

Building elements	Material	Shape and size	Colour and other requirements
	No metal.		
Pergola	Timber or clay brick posts. Metal or timber beams.	Refer to section 3.1.8 of this Part.	Do not shade minimum required windows midday midwinter provide shade midday midsummer.
Porch	Clay brick, earthen construction, timber or glass.	Roofed cover to front door. Min 1m, max 2m deep. Min 2m, max 4m wide. Max 1 storey high.	
Terrace	Floor: As for Balcony. Balustrade: mild steel, timber or clay brick.	Min 2m deep. Min 2.5m wide.	Screened to prevent overlooking.
Verandah	Posts: timber or clay brick. Paving: As for Balcony.	Min 1.2m deep. Min 3m wide.	Do not shade windows minimum required midday midwinter. Screened to prevent overlooking.

3.1.11 Landscaping

Objective

- a. To provide landscaping within a site that comprises predominantly of native species with an emphasis on those species that existed on site.

Performance criteria

- PI** Planting shall ensure optimum ecological sustainable development (ESD) advantage and residential amenity through:
- good planning and design;
 - practical lawn areas;
 - efficient irrigation;
 - soil improvement;
 - use of mulches;
 - low water demand plants; and
 - good maintenance.

Development controls

- D1** The following percentage targets of landscape treatments within dwelling lots shall be required:
- Grass 30%
 - Mass planting/trees 40%
 - Mulches/gravels 30%
- D2** Deciduous trees shall be used where summer shading and winter sun is required.
- D3** Mass planting areas shall be fully mulched.

3.2 Single lot housing types

3.2.1 Detached family dwelling – standard lot

Development controls

3.2.1.1 Lot size

- D1** Minimum lot width shall be 12m and minimum lot depth shall be 18m.

3.2.1.2 Siting

- D1** Living areas shall face north. Minimum 25m² shall be required as private open space with direct access to living area.
- D2** Dwelling entry shall be clearly visible from street.
- D3** A 2m garden wall shall be permitted where private open space is on street frontage. The maximum dwelling width shall be 60% of frontage.

3.2.1.3 Solar amenity and private open space

- D1** Minimum 50% of private open space area shall be required and north facing living area wall shall have a minimum of 2 hours solar access during mid-winter.

3.2.1.4 Setbacks

- D1** Front setback shall be a minimum of 1.5m and 3m at a collector street. Add 1m where private open space is to the street. 50% of frontage shall be within the 5m building alignment zone.
- D2** Rear setback shall be zero lot lined. Side setback shall be zero lot lined on one boundary. Where it is not zero lot lined, side setback shall be a minimum of 1 metres.

3.2.1.5 Dwelling height

- D1** Maximum height shall be 2 storeys plus attic to the street. Dwelling setback at upper levels shall be determined by overshadowing of adjoining block. Single storey shall be in the rear 50% of site.

Note: Figure 2 below illustrates the site layout for a detached family dwelling for a standard lot.

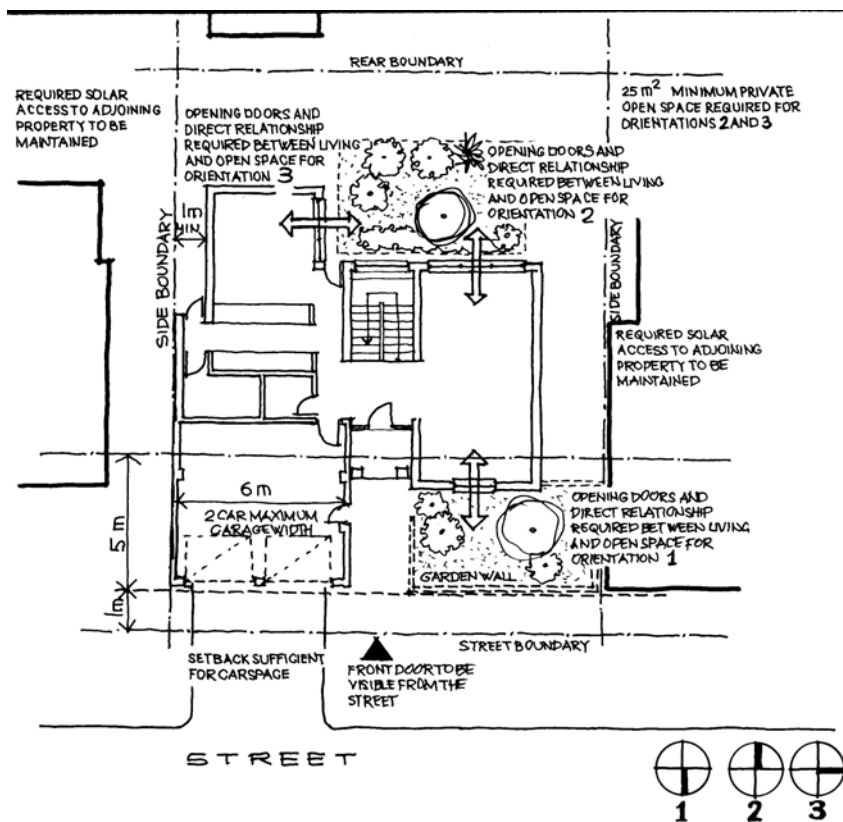


Figure 2 - Detached family dwelling – standard lot.

3.2.2 Detached family dwelling - zipper lot

Development controls

3.2.2.1 Lot size

D1 Minimum lot width shall be 12m and minimum lot depth shall be 18m.

3.2.2.2 Siting

D1 Living areas shall face north. Minimum 25m² is required as private open space with direct access to living area.

D2 Dwelling entry shall be clearly visible from street.

3.2.2.3 Solar amenity and private open space

D1 Minimum 50% of private open space area shall be required and north-facing living area wall shall have a minimum of 2 hours solar access during mid-winter.

3.2.2.4 Setbacks

D1 Front setback shall be a minimum of 1.5m and 3m at a collector street. Add 1m where private open space is to the street.

D2 50% of frontage shall be within the 5m building alignment zone.

D3 Rear setback shall be zero lot lined.

- D4** Side setback shall be zero lot lined on one boundary. Where it is not zero lot lined, side setback shall be a minimum of 1m.

3.2.2.5 Dwelling height

- D1** Maximum dwelling height shall be 2 storeys plus attic to the street. Dwelling setback at upper levels shall be determined by overshadowing of the adjoining block.
- D2** Single storey shall be in the rear 50% of site.

Note: Figure 3 below illustrates the site layout for a detached family dwelling for zipper lot.

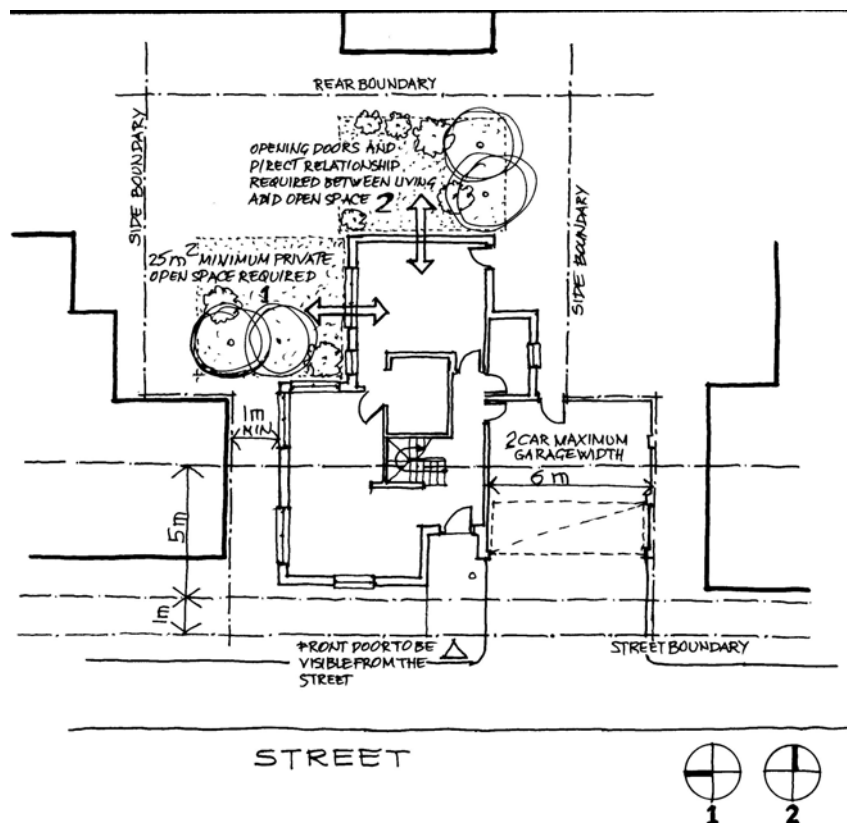


Figure 3 - Detached family dwelling layout – zipper lot.

3.2.3 Single storey courtyard dwelling

Development controls

3.2.3.1 Lot size

- D1** Minimum lot width shall be 10m and minimum lot depth shall be 20m. (Includes 12m buffer at boundary to existing industrial development).

3.2.3.2 Siting

- D1** Living areas shall face north. Minimum 25m² area of private open space shall be required with direct access to the living area. Dwelling entry shall be clearly visible from street.

3.2.3.3 Solar amenity and private open space

- D1** Minimum 50% of private open space area shall be required and north facing living area walls shall have a minimum of 2 hours solar access during mid-winter.

3.2.3.4 Setbacks

- D1** Front setback shall be a minimum of 1.5m and 3m at a collector street. 50% of frontage to be within the 5m building alignment zone.
- D2** Rear setback shall be zero lot lined or 12m where site is adjacent to industrial development areas on the western side of the precinct.
- D3** Side setback shall be zero lot lined on one boundary. Where not zero lot lined, side setback shall be a minimum of 1m.

3.2.3.5 Dwelling height

- D1** Maximum height of a dwelling shall be 2 storeys plus attic.
- D2** Dwelling setback at upper levels shall be determined by overshadowing of the adjoining block.

Note: Figures 4 and 5 illustrate the site layout and cross section for a single storey courtyard dwelling.

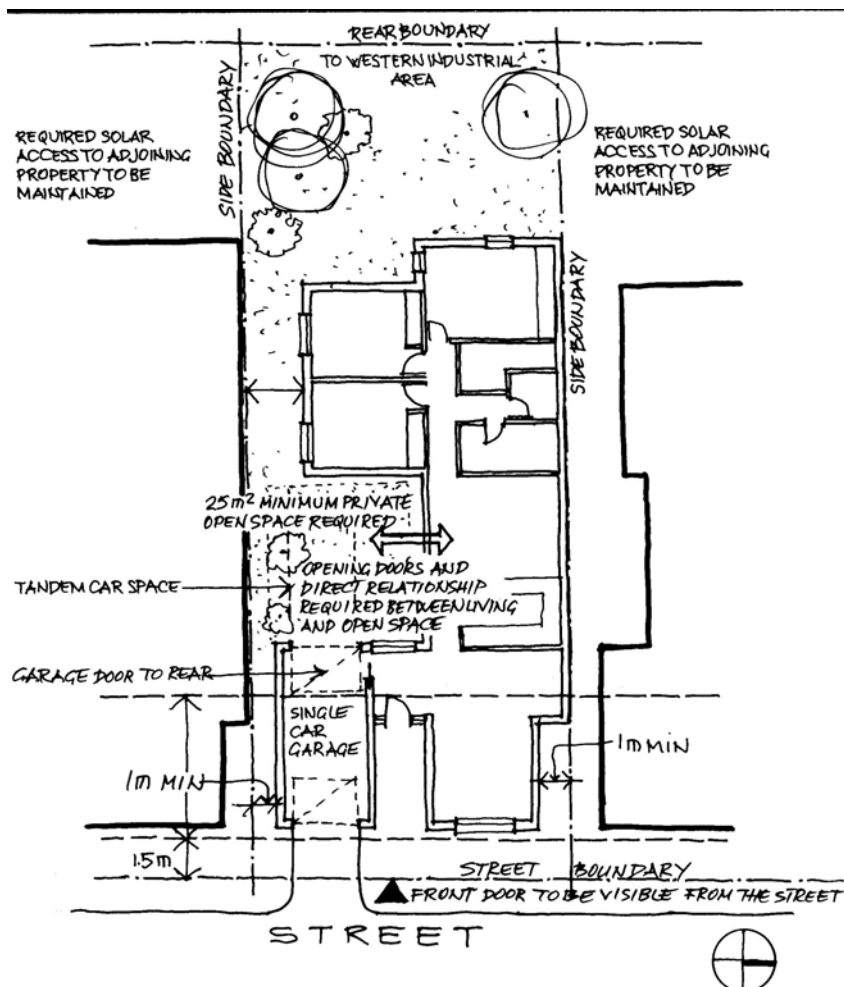


Figure 4 – Single storey courtyard dwelling layout.

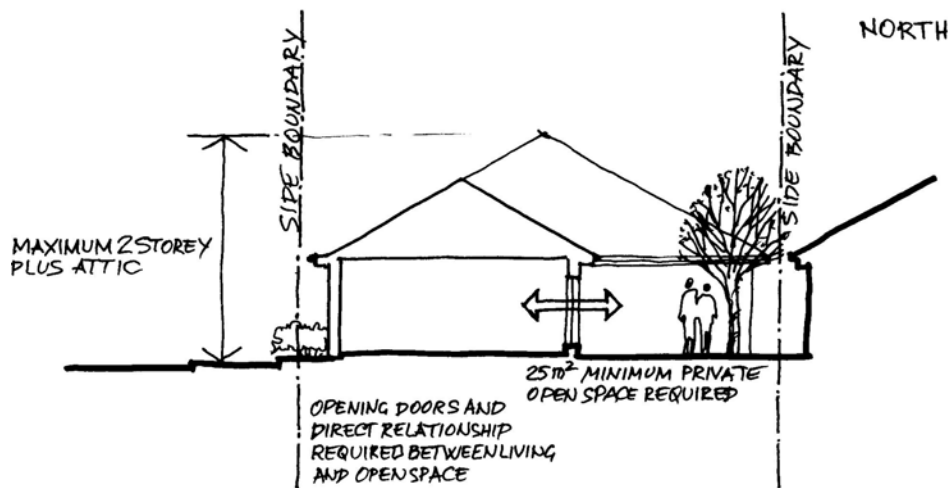


Figure 5 - Cross section of single storey courtyard dwelling.

3.2.4 Two storey courtyard dwelling

Development controls

3.2.4.1 Lot size

- D1** Minimum lot width shall be 10m and minimum lot depth shall be 20m.

3.2.4.2 Siting

- D1** Living areas shall face north. Minimum 25m² of private open space shall be required with direct access to living areas.

3.2.4.3 Solar amenity and private open space

- D1** Minimum 50% of private open space area shall be required.
- D2** North facing living area walls shall have a minimum of 2 hours solar access during mid winter.

3.2.4.4 Setbacks

- D1** Front setback shall be a minimum of 1.5m and 3m at a collector street. 50% of frontage shall be within the 5m building alignment zone.
- D2** Rear setback shall be zero lot lined or 12m where site adjacent to industrial development areas on the western side of the precinct.
- D3** Side setback shall be zero lot lined on one boundary. Where it is not zero lot lined, side setback shall be a minimum of 1m.

3.2.4.5 Dwelling height

- D1** Maximum height of dwelling shall be 2 storeys plus attic.
- D2** Dwelling setback at upper levels shall be determined by overshadowing of the adjoining block.

Note: Figures 6 and 7 illustrates the site layout and cross section for a two storey courtyard dwelling.

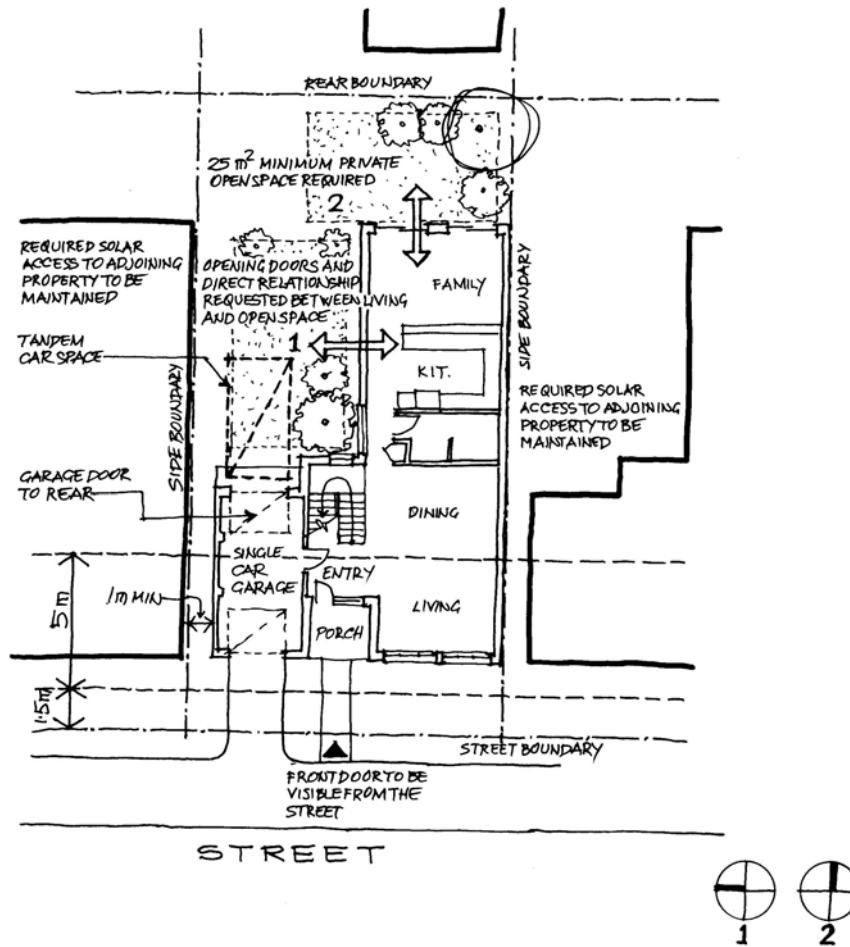


Figure 6 - Two storey courtyard dwelling layout.

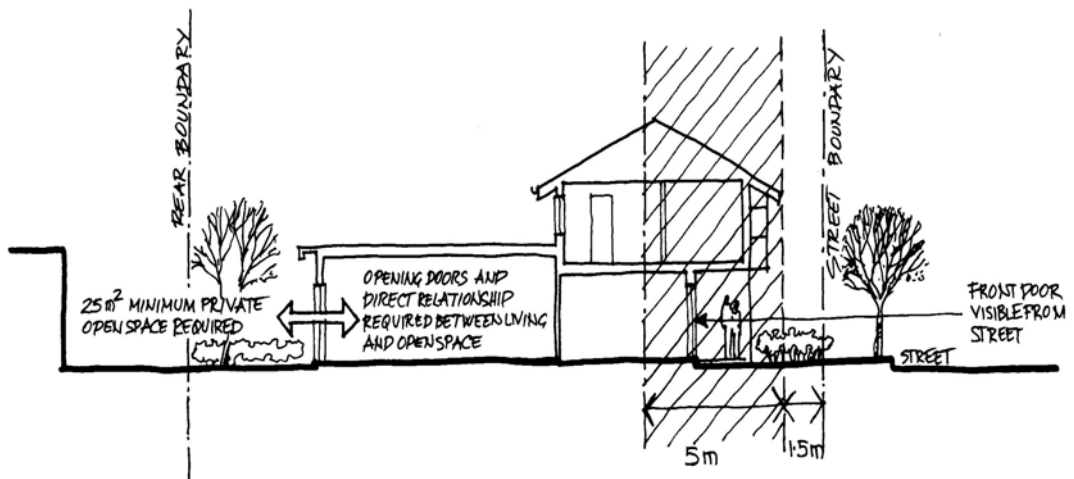


Figure 7 - Section of two storey courtyard dwelling.

3.2.5 Terrace house - north to the street

Development controls

3.2.5.1 Lot size

- D1** Minimum lot width shall be 6m and minimum lot depth shall be 20m.

3.2.5.2 Siting

- D1** Living areas shall face north. Minimum 25m² shall be required as private open space with direct access to living areas. Dwelling entry shall be clearly visible from street.

3.2.5.3 Solar amenity and private open space

- D1** Minimum 50% of private open space area shall be required and north facing living area wall shall have a minimum of 2 hours solar access during mid-winter.

3.2.5.4 Setbacks

- D1** Front setback shall be a minimum of 1.5m and 3m at a collector street. 50% of frontage shall be within the 5m building alignment zone.
- D2** Rear setback shall be 3m minimum or 12m where site is adjacent to western industrial development area of the precinct.
- D3** Side setback shall be zero lot lined on both boundaries. Where it is not zero lot lined, side setback shall be a minimum of 1m.

3.2.5.5 Dwelling height

- D1** Maximum dwelling height shall be 2 storeys plus attic. Dwelling setback at upper levels shall be determined by overshadowing of the adjoining block. Single storey shall be in rear 50% of site.

Note: Figure 8 illustrates the site layout for a two storey terrace house.

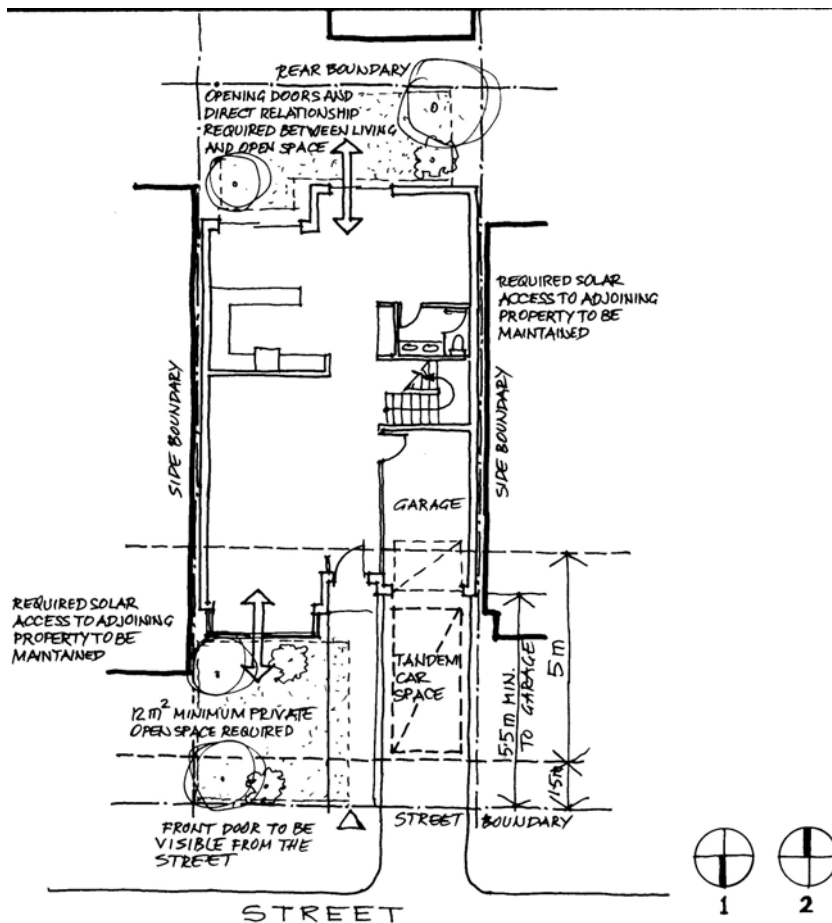


Figure 8 - Terrace house layout - north to the street.

3.2.6 Town house (south to the street)

Development controls

3.2.6.1 Lot size

D1 Minimum lot width and depth shall be 6m and 20m.

3.2.6.2 Siting

D1 Living areas shall face north. Minimum 25m² shall be required as private open space with direct access to living area. Dwelling entry shall be clearly visible from street.

3.2.6.3 Solar amenity and private open space

D1 Minimum 50% of private open space area shall be required and north facing living area wall shall have a minimum of 2 hours solar access during mid-winter.

3.2.6.4 Setbacks

D1 Front setback shall be a minimum of 1.5m and 3m at a collector street. 50% of frontage shall be within a 5m building alignment zone.

D2 Rear setback shall be 3m minimum or 12m where site is adjacent to western industrial development area.

- D3** Side setback shall be zero lot lined. Where it is not zero lot lined, side setback shall be a minimum of 1m.

3.2.6.5 Dwelling height

- D1** Maximum dwelling height shall be 2 storeys plus attic. Dwelling setback at upper levels shall be determined by overshadowing of adjoining block. Single storey shall be in rear 50% of site.

Note: Figures 9 and 10 illustrates the site layout and a cross section for a two storey town house.

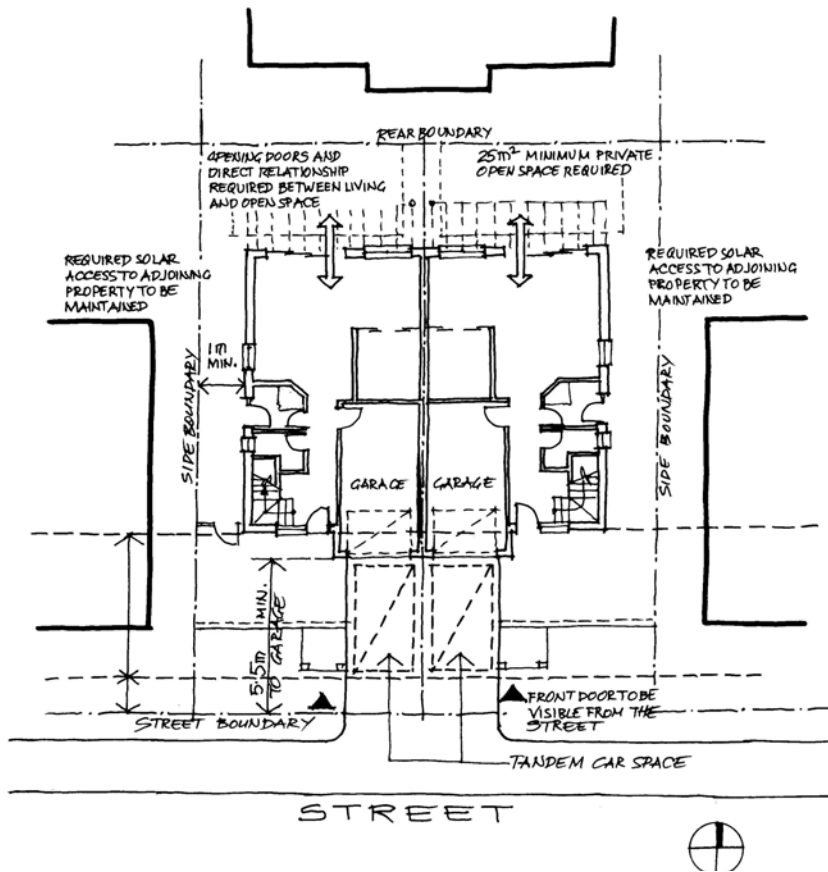


Figure 9 - Town house layout (south to the street).

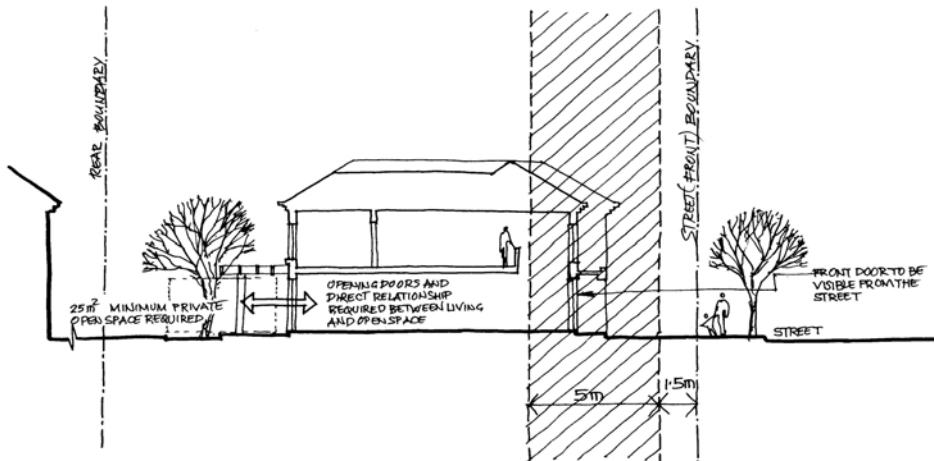


Figure 10 – Cross section of town house.

4.0 Residential flat buildings

This section provides detailed controls for residential flat buildings development on the land zoned R4 High Density Residential within the Newington residential area shown in Figure 1.

4.1 Site planning

Development controls

4.1.1 Site planning and solar amenity

D1 Site planning shall maximise the northern aspect for a majority of units of the development.

4.1.2 Site coverage

D1 The maximum site coverage shall be 60%.

4.1.3 Private open space

D1 The above ground floor level shall have a 7m² minimum area of private open space for a balcony and a minimum width of 1.8m.

D2 The ground floor level shall have 10m² minimum area of private open space per dwelling and a minimum dimension of 3m.

4.1.4 Privacy

D1 Visual privacy shall be required and may be achieved by:

- separation of functions by lot layout;
- placing buildings between adjoining private open spaces;
- window placement that avoids overlooking from living area to living area; and
- use of screening where above strategies cannot be achieved.

D2 For acoustic privacy, buildings shall:

- be designed to locate noise sensitive rooms and private open space away from the noise source or by use of solid barriers where dwellings are close to high noise sources;
- minimise transmission of sound through the building structure and in particular protect sleeping areas from noise intrusion.
- all shared floors and walls between dwellings to be constructed in accordance with noise transmission and insulation requirements of BCA.

4.2 Built form

Development controls

4.2.1 Building height

D1 Building heights shall be set to reinforce the scale and quality of the streetscape. A maximum building height of 4 storeys (residential) for a residential flat building shall be permitted.

4.2.2 Fencing/screening

- D1** Fencing or screens shall be used to maintain privacy between balconies/terraces.
- D2** Fencing or screens shall not be permitted to lot boundaries unless for security or privacy or to screen service areas or equipment.
- D3** Surveillance of the street shall be allowed where required.
- D4** Privacy shall be provided to ground floor private open space where it abuts the street. Surveillance via the entry and living/kitchen room windows to be maintained.
- D5** Design of the wall/fence shall be integrated with the design of the building.
- D6** Front walls/fences unless enclosing private open space shall be a maximum of 1.2m in height.
- D7** The front and side dividing fences, where located within the front yard area, shall not exceed a height of 1.2m as measured above existing ground level and shall be a minimum of 50% transparent. Front and side dividing fences where located within the front yard area shall not be constructed of solid pre-coated metal type materials such as Colorbond™ or similar.
- D8** Front walls/fences shall be a maximum of 1.8m high if enclosing private residential open space with a maximum width of 60% of street frontage and a maximum unarticulated length of 12m in residential development.

4.2.3 Materials

- D1** Refer to Table 2 for materials, finishes and colours.

4.2.4 Lot size

- D1** Minimum lot width shall be 40m and minimum lot depth shall be 25m.

4.2.5 Siting

- D1** Minimum 10m² private open space with direct access to living areas shall be required at ground floor levels.
- D2** Minimum 7m² private open space with direct access to living areas shall be required at upper floor levels. Building entry shall be clearly visible from the street.

4.2.6 Setbacks

- D1** The following setbacks shall apply:
 - Front setback shall be 4m minimum (6m at collector street). 50% of frontage to be within 8m building alignment zone.
 - Rear setback shall be 6m minimum (12m minimum between buildings).
 - Side setback shall be 3m minimum.

Note: Setbacks are illustrated in Figure 11.

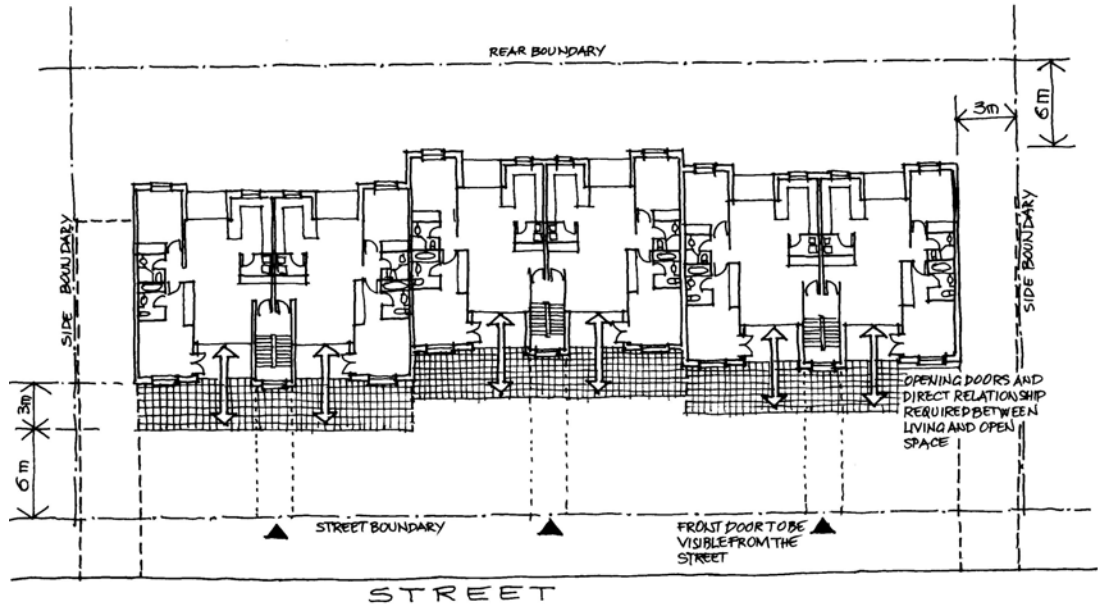


Figure 11 - Plan - residential flat building development.

4.2.7 Number of Storeys

- DI** Residential flat building shall be a maximum of 4 storeys above ground level (existing), as shown in Figure 12. Setback at upper levels is determined by overshadowing of adjoining block.

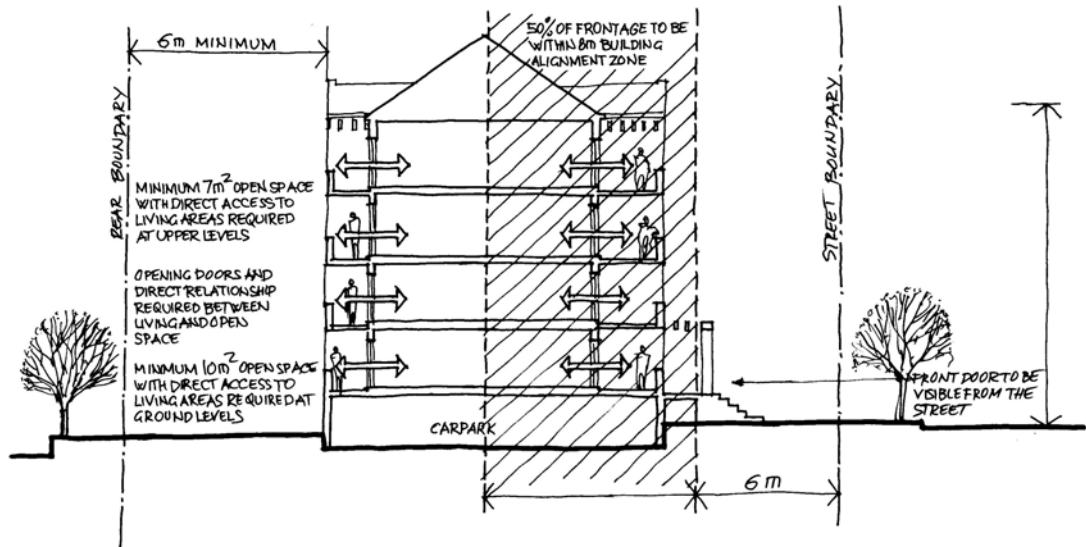


Figure 12 - Cross section - residential flat building.

This page is intentionally blank